



**Greensview Estates Residential Development**  
**Comprehensive Development Proposal**  
Final Submission

**Prepared by:**

WCE design inc.  
80 Emerald Ridge East  
White City, SK, Canada S4L 0C3  
306.540.8312

**Project Number:**

22-073

**Date:**

February 08, 2023

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February 8, 2023

Paige Boha, B.A.  
Manager of Planning and Development  
RM of Edenwold No. 158  
306.347.2967

Dear Mrs. Boha:

**Project No:** 22-073 – Greensview Estates Residential Development  
**Regarding:** Comprehensive Development Proposal

WCE design inc. is pleased to submit this Comprehensive Development Proposal for the Greensview Estates development located on SE 22-17-18-W2M. This proposal establishes the requirements to develop Blk/Par BB-Plan 102138342 Ext 0 and outlines the objectives and goals of the development as defined in the RM of Edenwold's Official Community Plan and Zoning Bylaws.

Should you have any questions, please contact the undersigned at 306.540.8312.

Sincerely,  
**WCE Design**

A handwritten signature in black ink, appearing to read 'D. Weiss', written in a cursive style.

Dustin Weiss, P. Eng.  
Senior Civil Engineer  
WCE Design  
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DW:dw  
Encl.  
cc: 101270981 SASKATCHEWAN LTD

## Distribution List

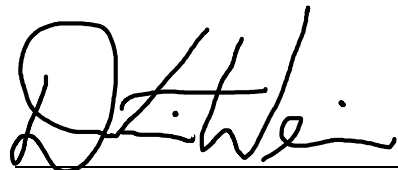
# of Hard Copies	PDF Required	Association / Company Name
0	1	Talon Capital Ltd.
0	1	RM of Edenwold

## Revision Log

Revision #	Revised By	Date	Issue / Revision Description
0	DAW	22-12-01	Issued for Draft Review
1	DAW	22-12-07	Issued as Draft Submission
2	DAW	23-01-13	Issued as Final Submission
3	DAW	23-02-08	Issued as Final Submission

## WCE Design Signatures

Report Prepared By:



Dustin Weiss, P. Eng.  
Civil Engineer  
WCE design inc.

## Executive Summary

WCE Design (WCE) was commissioned by 102035126 SASKATCHEWAN LTD. (the Developer) to complete a Comprehensive Development Proposal (CDP) for the proposed for development of Blk/Par BB-Plan 102138342 Ext 0 in the SE ¼ Section 22-17-18 W2M in the Rural Municipality of Edenwold No. 158 (the RM).

It is the intent of the Developer is to provide 8 multi-family 3-storey buildings. The RM of Edenwold is currently experiencing a residential housing shortage for the entry level or attainable market. This development is designed to meet this need in the residential market. The region is recognized as a good location to invest in and to raise a family. A need for entry level homes, retirees, or those looking to downsize, but still live in the community or in a rural setting is required in the community. This development does not compete directly with residential development currently within Emerald Park or White City.

Parcel BB is in an area designated as Heritage Sensitive. Heritage Research Branch, Archaeological Resource Management Unit of the Ministry of Parks, Culture, Heritage, and Sport had been contacted and a heritage screening was conducted. The Heritage Resource Branch has no issue with the project proceeding and the parcel has been cleared.

Parcel BB is in an area designated as Extreme Sensitivity to the Aquifer. Section 4.38 of the Zoning Bylaw may require the Developer to provide an Aquifer Protection Plan. A geotechnical investigation was completed on the site in by Ground Engineering Consultants Ltd. Included in this report is an action plan from the geotechnical engineer to construct within the aquifer sensitive area.

Parcel BB is not in an area designated as flood prone, hazardous, or environmentally sensitive.

The development is located on Treaty 4 Territory, the original lands of the Cree, Ojibwe (OJIB-WĒ), Saulteaux (SO-TO), Dakota, Nakota, Lakota, and on the homeland of the Métis Nation. There are no known First Nation lands within 3.5 kilometres of Parcel BB.

The proposed concept plan is included in Appendix A. Access to the site will be made from the south service road and McLeod Road. All internal parking and circulation roads will be owned and maintained by the developer.

Site drainage will maintain the existing drainage patterns and incorporate stormwater storage for the 1:100 year storm event. Stormwater will be conveyed with ditches and bioswales to promote water infiltration and other sustainable practices.

Water service will be provided by connection to the RM of Edenwold's water distribution system, with a stub located on McLeod Road. Wastewater will be collected and conveyed to the existing sanitary collection system via a manhole on McLeod Road.

Shallow utilities (SaskPower, SaskEnergy, and SaskTel) are in the immediate vicinity of the development. The necessary installation and connection fees will be borne by the developer and servicing will be completed during the development permit phase.

Fire fighting services are to be provided by the RM. The RM also has standard fire protection agreements with Balgonie, White City, Pilot Butte, the Village of Edenwold, and the Hamlet of Kronau. Fire service capacity was confirmed from the RM's Fire Chief, as the current Fire Hall has capacity to deliver services to this development with redundancies from neighbouring detachments.

Police services in the RM are provided by the RCMP's White Butte Detachment.

Residential zones are also required to comply with the landscaping and buffer requirements as outlined in Section 4.44. As part of the development permit process with the RM, the developer will be required to submit detailed landscaping plans for this entire parcel. A detailed pedestrian access plan will be provided as part of the landscape design. Landscaped areas are shown on the concept plan in Appendix A.

The site requires re-zoning, and a public consultation is to take place by mail-out and comment sheets. No open house is required.

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## 1.0 Introduction

This Comprehensive Development Proposal (CDP) is prepared on behalf of 102035126 SASKATCHEWAN LTD. (the Developer) in support of an application for development of a property located in the Rural Municipality of Edenwold No. 158 (the RM).

The location of the proposed development is shown in Figure 1.1. The development is located within Emerald Park and south of the Highway 1 south service road. The registered owner of Blk/Par BB-Plan 10213842 Ext. 0 in the SE ¼ Section 22-17-18 W2M is 102035126 SASKATCHEWAN LTD. It is the intent of the Developer to develop this parcel into a multi-family development as illustrated in Appendix A. The RM's future zoning map 7A shows the parcel as future mixed use residential/commercial.

This CDP is prepared in accordance with Sections 3.23 of the Zoning Bylaw and provides a framework for the proposed parcel of land for the purpose of developing multi family units on the existing parcel.



**Figure 1.1: Location Map**

## 2.0 Existing Conditions

### 2.1 Existing Land Use

The proposed development site (Parcel BB) is 5.447 hectares (13.46 acres). The site is generally flat terrain and is currently undeveloped. The site is generally grass with some rows of deciduous trees.

In the past, the site has been used as part of the existing golf course and contains an old irrigation pond. The land had been previously disturbed and graded into golf course land. Currently the site has been left undeveloped and not used.

Aerial images for the site from 2020 and 2011 are shown in Figure 2.1<sup>1</sup> and Figure 2.2<sup>2</sup>, respectively.



**Figure 2.1: Aerial Image from 2021**

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<sup>1</sup> Google Earth

<sup>2</sup> Google Earth

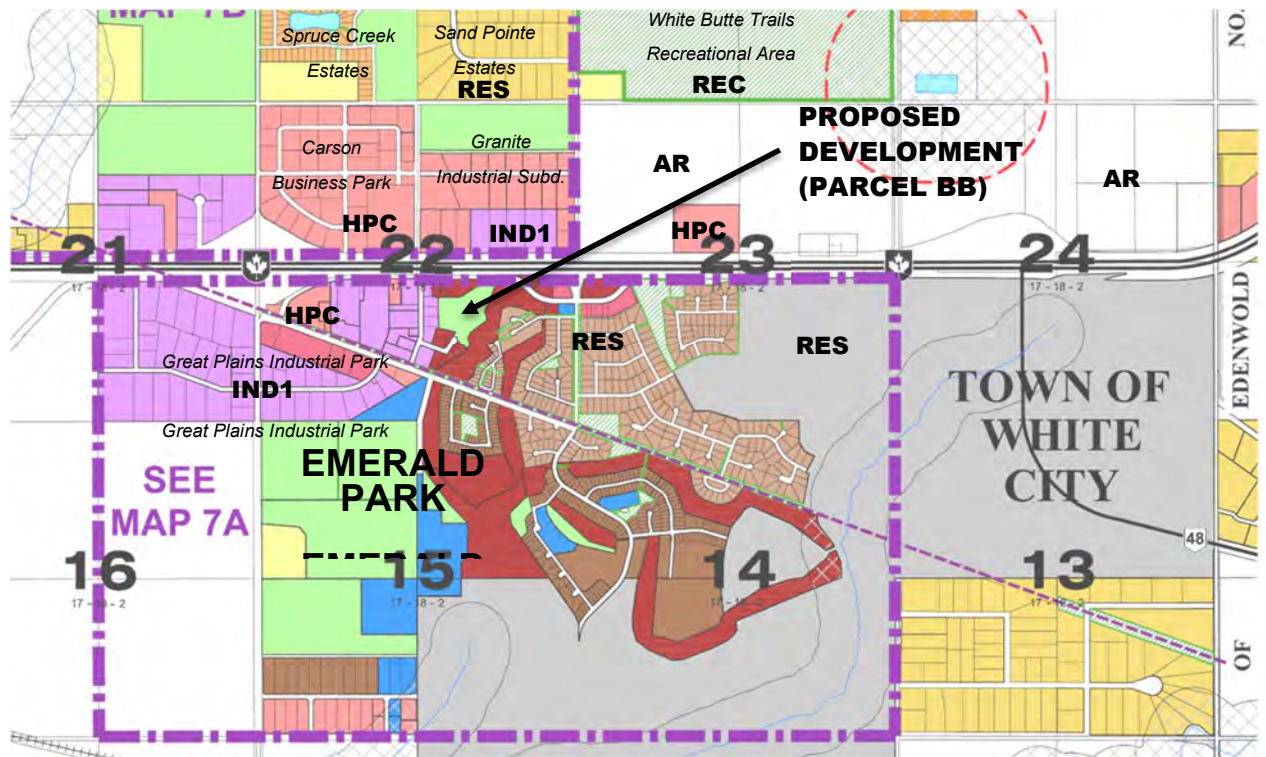




**Figure 2.2: Aerial Image from 2011**

## 2.2 Adjacent Land Use

Land use in the area is mixed. Parcel BB is currently zoned as Future Development as shown in Figure 2.3. The parcels immediately surrounding Parcel BB are zoned as General Commercial (COM1) and General Industrial (IND1). These parcels include a golf course to the east with some residential bordering the east property line of that golf course parcel. The west property boundary of Parcel BB is bordered by commercial stores, storage units, and Highway No. 1 and the south service road border the north of this property. Development on the north side of the highway is comprised of commercial and industrial developments.



**Figure 2.3: Current Land Use Map**

### 2.3 Existing Roadway Network

Existing roadways in the area include:

- Highway No.1 runs east-west along the north side of Parcel BB. Service roads are provided on the north and south sides of Highway No. 1 for access to businesses. Access to the proposed development is from the existing two-lane, paved South Service Road known as locally and will be referred to as Great Plains Road, along the north side of the property.
- McLeod Road is a bay on the south side of the development. This road provides a second access to the development and serves multiple industrial/commercial businesses in the area. This road connects to Percival Drive which then leads to either the Great Plains Road or South Plains Road, which are the two major distribution roads in the community.

## 2.4 Existing Municipal Services and Utilities

Existing Municipal Services in the area include:

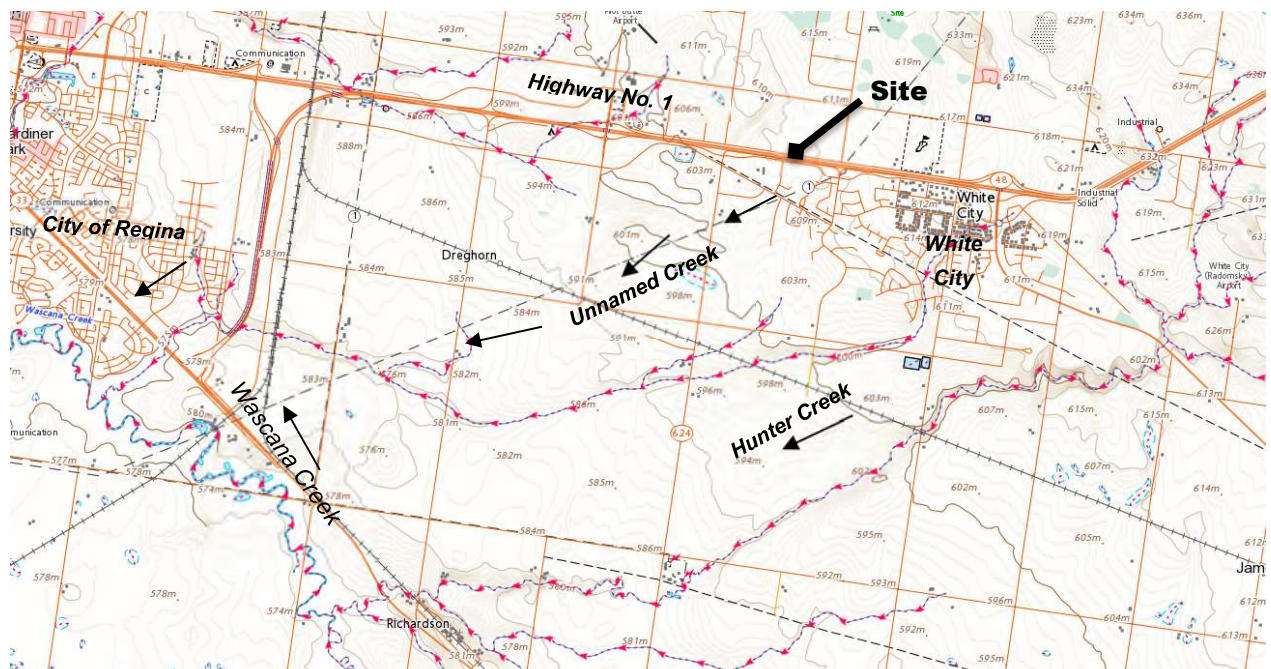
- A 200 mm PVC water line is located at McLeod Rd. The water line is stubbed at the end of the bay.
- A manhole serviced by a 200mm PVC sanitary sewer is in the bay of McLeod Rd.
- There is no minor stormwater system. The Community manages stormwater with above ground drainage.

Existing Utilities in the area include:

- SaskPower also has a high voltage transmission line 100-300 meters east of the site.
- TransGas has a pipeline on the east boundary of the site that runs south to Betterridge Road.

## 2.5 Topography

The site is relatively flat with drainage trending from northwest to southeast as shown in Figure 2.4<sup>3</sup>. Runoff from the site flows through the Golf Course irrigation ponds and flows south through a defined ditch system through Emerald Park. Eventually the stormwater is conveyed to an unnamed creek south of Highway No. 1 via a series of culverts and ditches. The creek eventually flows into Wascana creek at the east side of Regina.



**Figure 2.4: Existing Topography**

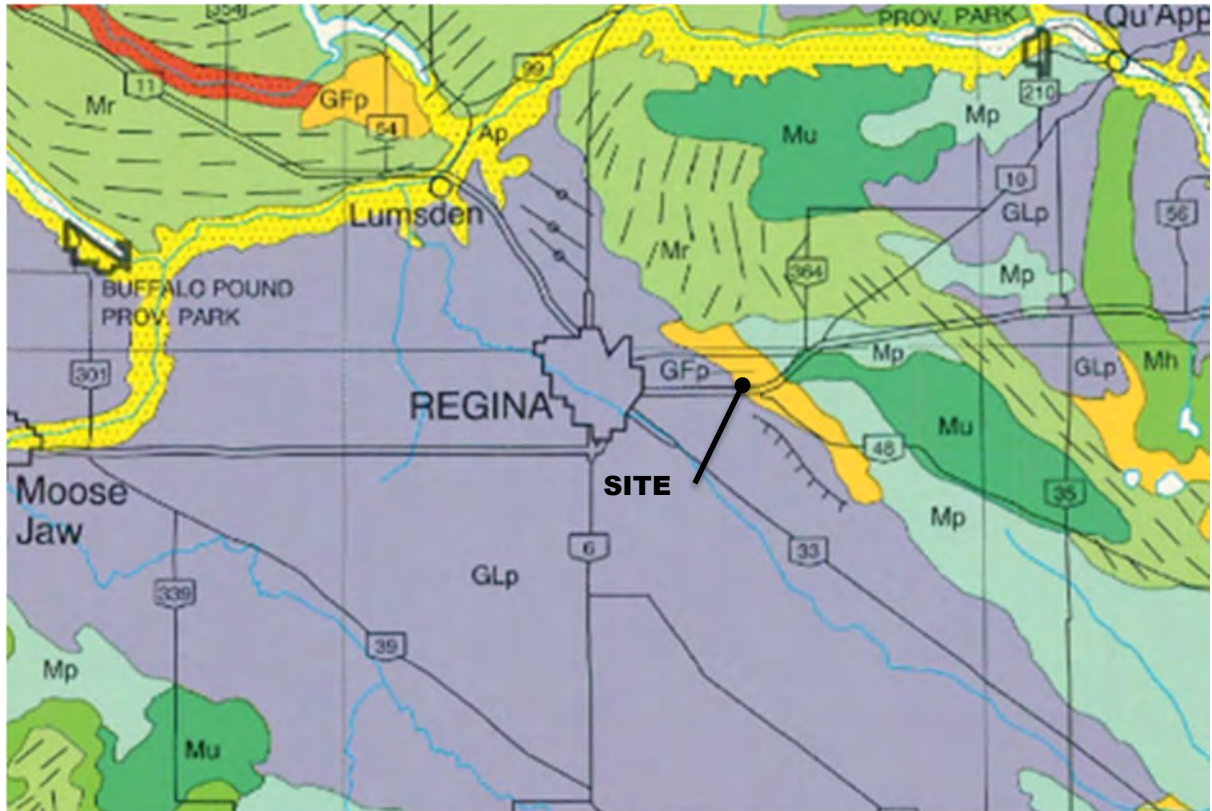
<sup>3</sup> <https://atlas.gc.ca/toporama/en/index.html>



## 2.6 Regional Surface Geology and Soils

The site is situated on a glacial-fluvial deposit (GFp) as shown in Figure 2.5<sup>4</sup>. GFp deposits generally consist of gravels, sand and silt accumulations transported and deposited by glacial meltwater

Surficial soils in the vicinity of Parcel BB are classified as Class 4 and 5<sup>5</sup>. Class 4 soils have severe limitations that restrict the range of crops that can be planted and require special conservation practices, such as zero-till. Class 5 soils have very severe limitations that restrict their capability to producing perennial forage crops, but improvement practices are feasible.



**Figure 2.5: Regional Surface Geology**

<sup>4</sup> Surficial Geology Map of Saskatchewan, Saskatchewan Geological Survey

<sup>5</sup> RM of Edenwold, Soil Class (Map 8)

## 3. Proposed Development

### 3.1 Policy Context

The development is intended to be a combination of multi-storey apartment buildings that back onto the golf course to provide a transition between the industrial/commercial zone and the existing single-family residential. This development is intended to provide a class of home (multi-family), which is currently underserved in this area.

Parcel BB and the proposed development fall within the Urban Residential District 3 (R3). The developer is proposing 8 – 3 storey residential units containing approximately 24 to 60 units each for a total of 366 units.

#### 3.1.1 Land Use and Zoning

The land is currently located within the Emerald Park Business District zoned Urban Holdings and would have to be re-zoned as Urban Residential District 3 (R3) which fits within the RM's Official Community Plan. The OCP designates this area to be a Mixed Use (Res.Com/CS), which the development meets these requirements.

The Proposed development meets the Community Priorities identified in Section 1.6 of the OCP. This parcel provides a buffer or transition between the existing residential lots located on the golf course and the commercial businesses located in the Emerald Park Business District (EPBD). It does not conflict with the adjacent land uses and compliments the existing subdivisions by providing a buffer, improves walkability in the area and completes an undeveloped area within the community.

The proposed development is considered a compatible use with the EPBD as outlined in section 3.9.4 of the RM's OCP and is currently shown as 'Mixed Use (Res/Com/CS)' on the future zoning map 7B and is a proposed future growth area as per Map 15, Growth and Intensification Areas.

The following clauses from the Zoning Bylaw have been addressed:

Clause 3.20 – Additional information is included with this submission.

Clause 3.24C – An aquifer protection plan has been included in section 3.3 and Appendix D.

Clause 3.24D – A public consultation will be conducted and is outlined in Section 3.12.

Clause 3.24E – A transportation plan can be found in Appendix F and is discussed in section 3.7.4.

Clause 3.24I – See attached the preliminary concept plan which shows the intent of the development and meets the RM's Zoning Bylaw. Detailed landscaping will be confirmed in the detailed design phase under the development permit.

Clauses 3.33/3.35 – Developer is prepared to pay appropriate Development and Connection Fees.

Clause 4.10 – The proposed grading plan complies with the General Design Standards approved by the Municipal Engineer.

Clause 4.11 – No fencing is anticipated between the units. This will be accomplished with landscaping. A perimeter landscaped buffer will be constructed to separate the development from the existing commercial businesses.

Clause 4.15 – RM standards will be followed for the design of the road connections. All surfacing within the development will be asphalt.

Clause 4.22 – Development lighting to be designed in accordance with RM of Edenwold Bylaw. The lighting design will be submitted at the development permit stage and will not be directed to adjoining properties, interfere with use/enjoyment of neighbouring lands, or interfere with the effectiveness of any traffic control devices or the vision or safety of motorists.

Clause 4.27 – Parking on site to follow the recommendations of 1.25 stalls per residential unit. Parking stall counts can be found on the concept plan in Appendix A.

Clause 4.28 – Bicycle Parking and Facilities will be provided as part of the detailed landscaping plan at the development permit stage.

Clause 4.33 - A geotechnical report has been conducted and will be appended to the final version of this report.

Clause 4.36 – Heritage screening and clearance has been executed for this site and can be found in Appendix E.

Clause 4.44 – Landscape buffers will be provided as per the bylaw and detailed at the development permit stage. The concept plan in Appendix A, illustrates the buffer areas adjacent to the neighbouring properties.

Clause 4.45 – A landscape buffer will be provided to reduce noise from the Provincial Highway to the development. This development will create additional noise buffer to adjacent existing residential subdivisions. The developer will obtain the required permits from the Ministry.

A traffic noise study will be required as part of the development permit.

Clause 4.46 – The proposed concept plan meets the setback requirement for the development to pipelines.

### 3.1.2 Market Assessment

The RM of Edenwold is currently experiencing a residential housing shortage for the entry level or attainable market. This development is designed to meet this need in the residential market. The region is recognized as a good location to invest in and to raise a family. A need for entry level homes, retirees, or those looking to downsize, but still live in the community or in a rural setting is required in the community. This development does not compete directly with residential development currently within Emerald Park or White City.



### 3.1.3 Servicing Costs/Levies/Tax Revenue

The developer will be responsible for the construction and maintenance the infrastructure. The developer is prepared to pay the required Servicing Agreement Fee, Development Agreement Fee and/or connection fees and performance securities to complete this development.

When examining the tax revenue for the RM, it is assumed that each unit has tax \$3,000 per year. With 366 units the tax revenue equates to \$1,0980,000 per year or a total of \$21,960,000 over 20 years. As the RM is already providing the services in the area and maintaining all existing roads there is a minimal yearly cost added to the RM. This development would be considered an in-fill or brown field development.

## 3.2 Geotechnical Investigation

A geotechnical investigation was completed on the site in 2022 by Ground Engineering Consultants Ltd. The report will be included in the detailed design phase; however, an aquifer protection plan has been appended to this report, that was completed by the geotechnical consultant.

## 3.3 Aquifer Sensitivity

Parcel BB is in an area designated as having Extreme Sensitivity to the Aquifer. An aquifer protection plan will be submitted to the RM as part of the development/building permit process. The plan should include measures for protection of the aquifer during installation of foundations as well as water and sewer services.

The aquifer protection plan shall be as per Section 3.24C of the Zoning Bylaw and include:

- Site-specific information regarding groundwater and the local aquifer and the sensitivity of these systems with respect to potential breach, contamination, depletion, or other concerns.
- The impact the proposed development or subdivision may have on the quantity and quality of groundwater and the aquifer and the proposed mitigation measures that will be implemented to preserve and protect the ground water/aquifer.

Aquifer sensitivity and protection measures have been outlined in the appended letter from Ground Engineering. The protection plan states:

- The existing water ponds should be pumped out and backfilled with highly plastic clay or clay till obtained from a pre-approved borrow source. Random fill from various sources shall not be permitted. Importing of the fill shall be monitored and the fill shall be placed in lifts which are compacted. Backfilling the ponds in this manner will limit the potential contamination of the underlying aquifer.
- Building foundations will include driven steel pipe/H beams and augercast concrete piles. For lighter loads, screw piles and footings may be an option. Regardless of the foundation type selected, the building foundations will not increase the contaminant risk of the aquifer.

- Installation of the site services(water/sewer) will require excavations which may extend below the water table in some areas. The trenches may be backfilled with the excavated soil which is placed in lifts which are compacted. Backfilling the trenches in this manner will limit the potential contamination of the underlying aquifer.
- Bioswales will be constructed as part of the surface drainage plan. Properly designed and constructed bioswales will limit the potential contamination of the underlying aquifer.
- No fuel shall be stored onsite during and after development.

### 3.4 Heritage Resources

Parcel BB is in an area designated as Heritage Sensitive. Heritage Research Branch, Archaeological Resource Management Unit of the Ministry of Parks, Culture, Heritage, and Sport had been contacted and a Heritage Screening has been conducted with the response letter appended to this report in Appendix E.

The Heritage Research Branch has no concern with the project proceeding as planned and the potential for the project to impact intact significant heritage sites is low. It should also be noted the heritage review was conducted for the entire external boundary of the parcel and no additional heritage review would be required for changes to the site layout within the Surface Parcel 20284880 boundary.

### 3.5 Environmental Sensitivity

Parcel BB is not in an area designated by the RM as flood prone, hazardous, or environmentally sensitive.<sup>6</sup>

### 3.6 First Nations

The development is located on Treaty 4 Territory, the original lands of the Cree, Ojibwe (OJIB-WĒ), Sauteaux (SO-TO), Dakota, Nakota, Lakota, and on the homeland of the Métis Nation.

There are no known First Nation lands within 3.5 kilometres of Parcel A.

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<sup>6</sup> *RM of Edenwold, Sensitive Environmental Areas (Map5B)*

### 3.7 Site Services

#### 3.7.1 Water

The proposed development is proposed to connect to the RM of Edenwold's Emerald Park water distribution system. Water service for this development will be made by a connection to the water stub on McLeod Road. The following summarizes the water system requirements:

▪ Residential Units	= 366 units
▪ Residential Population	= 2.3 c/unit
▪ Population	=842 c
▪ Water usage per capita	=390 L/c/day
▪ Average Day Demand (ADD)	= 328,380 L/day =328.38 m <sup>3</sup> /day =3.80 L/s
▪ Peak day Demand (ADD x 2.1)	=7.98 L/s
▪ Peak Hour Demand (ADD x 3.2)	=12.16 L/s

Based on these demands a 200mm distribution system can be utilized and to make the connection to the RM's infrastructure.

Upon review of the existing water distribution system the RM has determined there is adequate capacity to meet the water demands.

The developer will make an application to the WSA upon approval of the CDP and after completion of the detailed engineering design.

SK-2 in Appendix B illustrates the proposed system. The system accounts for a 90m hydrant coverage. Sprinklered buildings only require a 45m hydrant distance to the siamese fire hose connection. The water distribution connects to McLeod Road; however, a looped system may be required. This will be detailed within a pre-engineering study and the detailed design of services.

#### 3.7.2 Wastewater

Wastewater volumes are calculated based on the same population as the water and using 225 L/day. The total volume of wastewater from the proposed development is 265.23 m<sup>3</sup>/day or a flow rate of 3.07 L/s. Based on this flow rate a 200mm sanitary connection is required to the RM's sanitary sewer collection system. The proposed connection to the sanitary is the manhole on McLeod Road. The RM of Edenwold has confirmed the sanitary collection system has adequate capacity for the additional wastewater flows from this development.

Application will be required to the WCRM 158 for wastewater allocation at the development permit process. Each building requires a separate development/building permit and allocation request to WCRM 158.

### 3.7.3 Site Grading and Drainage

The proposed grading plan for the site is included in Appendix C. The proposed development will consist of overland drainage to drainage swales/ditches, bioswales, infiltration basin, existing irrigation ponds and the existing ditch system in the area.

The proposed drainage pattern will maintain the existing drainage patterns in the area which has stormwater flowing into the existing Aspen Links irrigation pond and drainage system. Upgrades to this system will be made to ensure safe pond overflow elevations and ditch outlets. The site typically drains from north to south. The major stormwater system will include capacity for the existing stormwater that enters the site from the north. A Joint Use Agreement/Shared Utility Agreement will be required with the Aspen Village Properties developer to operate the shared pond. This will be submitted at the time of the development permit upon completion of the detailed grading design.

The site will be graded to store the 1:100 year rainfall event to minimize the impact to adjacent properties. All building elevations will be set 0.5m to 1.0m above the stormwater spill point. The proposed development is looking to utilize sustainable stormwater practice such as bioswales and infiltration basins within the storm water management plan and promote stormwater infiltration as well as runoff.

### 3.7.4 Site Access, Roadways & Transportation

Access to the site will be from the existing Great Plains Road and South Plains Road by way of McLeod Road.

The Development will generate an additional 2,562 vehicle trips/day with 256 at the peak hour, both am/pm. The volume of vehicles will be a minimal impact on current roadways within the RM and have been considered in the area's growth projections. Both the Great Plains Road and South Plains Road are major access roads into and out of the existing community. The Pilot Butte interchange is accessible from each road and will be the connection point to Highway 1 for residents travelling west into Regina. Residents wanting to travel east on Highway 1 will either utilize the off ramp at Great Plains Industrial Drive or the off ramp located on Emerald Park Road. Both roads that connect to the Emerald Park Business District would be used for inter-community travel.

The traffic is estimated to be a 60/40 split, with 60% (1,537 AADT) utilizing South Plains Road and 40% using Great Plains Road to access the development.

Internal roadways will remain as part of the development and not be turned over to the RM. These areas are parking lots and general circulation roadways. Parking is to be provided as per section 4.27 of the Zoning Bylaw.

As per clause 3.2.5 of the OCP, it recommends the municipality will continue to expand and upgrade the network of walkways and trail facilities. The proposed development includes pathways, common walkways and pedestrian circulation areas that connect to the existing RM pedestrian infrastructure.

### 3.7.5 Utilities

Shallow utilities (SaskPower, SaskEnergy, and SaskTel) are in the immediate vicinity of the development. The necessary installation and connection fees will be borne by the developer.

Utility companies will be contacted to confirm servicing requirements after approval of the CDP by the RM and will be submitted within the building/development permit phases.

### 3.8 Fire and Protective Services

Fire fighting services in the area are provided by the RM. The RM also has standard fire protection agreements with Balgonie, White City, Pilot Butte, the Village of Edenwold, and the Hamlet of Kronau.

Police services in the RM are provided by the RCMP's White Butte Detachment.

This development has an estimated population of 842 people based on 366 units and 2.3 people per unit. An inquiry has been made with the RM regarding capacities of the municipality. Comments received will be added to the final draft of this report.

### 3.9 Phasing

The developer will be phasing the construction of the project. An overall parcel development permit will be submitted with detailed engineering drawings for the site and services, along with a detailed landscape plan.

Each building will then be phased for construction under individual building permits and the plan area will be separated into construction phases. A proposed phasing plan has been appended to this report in Appendix G. Phase 1 consists of the western buildings (3 buildings) and required road accesses. Phase 2 consists of the remaining buildings (5 buildings).

### 3.10 Landscaping

Commercial Districts are also required to comply with the landscaping and buffer requirements as outlined in Section 3.24I and 4.44. The area between this development and the existing adjacent commercial district will require a landscape buffer.

Landscaping areas, passive park areas and an active playground are illustrated on the site plan SK-1 in Appendix A. The playground is planned to be open to all residents within the community and will be designed for all seasons. A high-level landscape plan has been provided in Appendix A and a detailed landscape plan is required as part of the development permit phase.

### 3.11 Pedestrian Access Plan

As per section 3.11, pathways will be constructed within the development connecting the internal pedestrian pathways to the Trans-Canada Trail Pathway north adjacent to Great Plains Road. The pedestrian route heads south towards McLeod Road to connect to any future RM pathways. The pedestrian pathway is a mix of internal sidewalks, and paved pathways connecting the residents and the internal amenities within the development.

The site has been designed to promote pedestrian circulation with the area to and from residences, amenities, and pathways. The pedestrian pathways are shown on SK-1 in Appendix A. The pedestrian route is a mix of internal sidewalks, and paved pathways connecting the residents and the internal amenities of the development.

### **3.12 Public Consultation**

As per our initial meeting with the RM Planning and Engineering staff, an open house is not required. Public consultation will be completed.

A mail out will be distributed to all neighbours within 150m of the proposed development and extended to the residents of St. Andrews Bay and Hogan Place. The RM staff will advertise the proposed development via the RM's website/newspaper and provide the developer's contact for comments. A comment sheet will be included in the mail out and available online to the public.

Comments will then be summarized and included in the final draft of this report.

### **3.13 Canada Post**

Post boxes are to be located within the multi-family buildings, providing additional security to residences.

All post boxes will be coordinated with Canada Post at the time of the development permit.

### **3.14 Education Services**

Education service capacity were discussed with the Prairie Valley School Division (PVSD). From the development an anticipated 10% of total population or 85 school age kids from grades K to 12 may be anticipated from the full buildout.

Grades 9- 12 in the area are serviced from the Greenall High School (GHS) in Balgonie which has a 2024 anticipated capacity of 91%. Grades K-8 in the area are provided by two separate elementary schools in the area Emerald Ridge Elementary (ERES) and Ecole White City School (EWCS). For the 2024 school year these schools are anticipated to be 115% and 103% capacity respectively. Both schools currently have flex space available to convert to classrooms to accommodate increased capacities. Both schools are also designed for additional mobile classrooms or portables to be added once over-capacity occurs. Funding from these comes provincially and is based on actual enrollment numbers and not anticipated enrollment. EWCS previously had the capacity to house both elementary schools prior to the construction of ERES.

In discussion with the school board the education services will be able to accommodate this development upon full build out as additional classroom units can be added to EWCS and ERES. The GHS school has current additional capacity and can also be fitted with additional portable units if required.

# **APPENDIX A**

## **Concept Plan**





- LEGEND**
- ASPHALT
  - BUILDING
  - LANDSCAPE
  - CONCRETE
  - WATER



**1 | CONCEPT PLAN**  
 SK-1 | 1:1500

TOTAL UNITS: 366  
 TOTAL PARKING: 470



## **APPENDIX B**

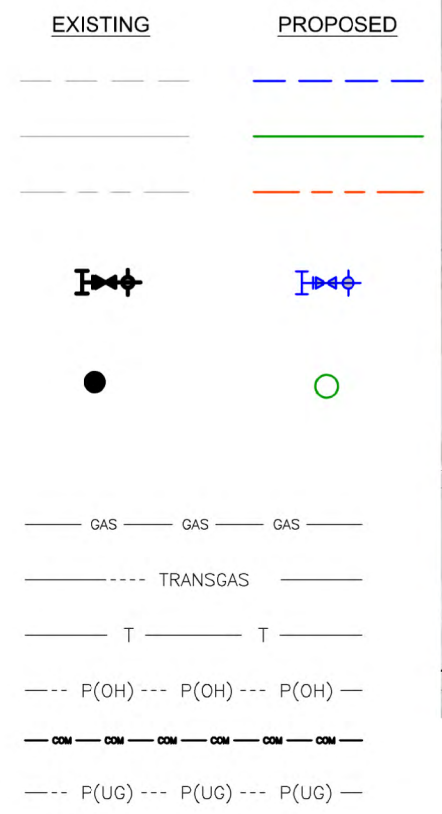
### **Service Plan**





**LEGEND**

- UNDERGROUND
- WATER MAIN
- SANITARY SEWER MAIN
- STORM SEWER MAIN
- WATER
- HYDRANT
- SANITARY SEWER
- MANHOLE
- UTILITIES
- NATURAL GAS LINES
- TRANSGAS LINES
- TELEPHONE
- POWER LINES (OH)
- ACCESS COMMUNICATION
- POWER LINES (UG)



**1 SERVICE PLAN**  
 SK-2 | 1:1500



## **APPENDIX C**

### **Drainage Pre-Design Plan**

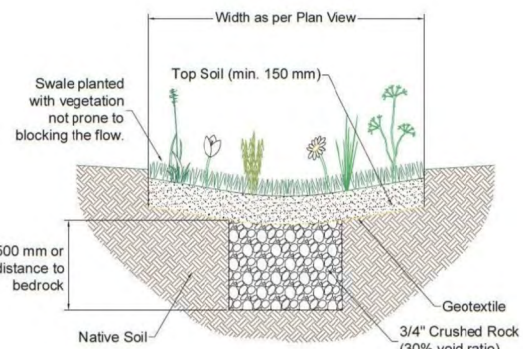




**LEGEND**

STORM SEWER & DRAINAGE

DRAINAGE ARROWS



**2 BIOSWALE**  
SK-3 | N.T.S.



**1 DRAINAGE CONCEPT PLAN**  
SK-3 | 1:1500



## **APPENDIX D**

### **Geotechnical Investigation Aquifer Protection Plan**

# GROUND ENGINEERING CONSULTANTS LTD.

CIVIL & GEOENVIRONMENTAL ENGINEERS  
415 - 7<sup>TH</sup> AVENUE · REGINA · SASKATCHEWAN · S4N 4P1  
Tel: (306) 569-9075 FAX: (306) 565-3677 Email: groundeng@myaccess.ca

FILE: GE-1403

December 16, 2022

Talon Capital Ltd.  
435 Dewdney Avenue  
REGINA, Saskatchewan  
S4N 0G1

**ATTENTION: MR. TROY METZ**

Dear Sir:

**SUBJECT: AQUIFER PROTECTION PLAN  
PROPOSED GREENVIEW RESIDENTIAL DEVELOPMENT  
PARCEL BB, PLAN 102138342  
R.M. OF EDENWOLD, SASKATCHEWAN**

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The proposed development of the above captioned property consists of a residential subdivision which includes construction of 6 apartment buildings and 2 townhouse buildings. The subject property was previously developed as part of the adjacent golf course and is currently vacant. There are 3 water ponds from the former golf course on the property. The 2 ponds which are located entirely on the property will be completely filled in. The 3rd pond which extends onto the adjacent golf course property will be partially filled in. Our Company conducted some preliminary geotechnical work at the subject property in 2014 at which time it was determined that the groundwater table is located at a depth of approximately 1 to 2 metres below grade which corresponds to the water level in the existing ponds. It is expected that the groundwater table has not materially changed since the previous work.

The subject property is located within the Extreme Sensitivity Aquifer zone as identified in the R.M. of Edenwold Official Community Plan (Map 12, Appendix A). The OCP requires that an Aquifer Protection Plan be implemented as part of the development process to limit any potential contamination of the aquifer.

The following recommendations and comments are provided to limit the potential impact the proposed development may have on the underlying aquifer:

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A MEMBER FIRM OF THE ASSOCIATION OF CONSULTING ENGINEERING COMPANIES - SASKATCHEWAN

· SOIL MECHANICS AND FOUNDATION CONSULTANTS · SITE INVESTIGATIONS · FOUNDATION DESIGN · SPECIFICATIONS · CONSTRUCTION SUPERVISION · INSPECTION AND LABORATORY TESTING SERVICES · SOILS · CONCRETE · ASPHALT · PAVEMENT DESIGN AND EVALUATION · SLOPE STABILITY · REPORTS · SEEPAGE CONTROL BARRIERS FOR MUNICIPAL AND INDUSTRIAL WASTE CONTAINMENT · ENVIRONMENTAL SITE ASSESSMENTS

- .1 The existing water ponds should be pumped out and backfilled with highly plastic clay or clay till obtained from a pre-approved borrow source. Random fill from various sources shall not be permitted. Importing of the fill shall be monitored and the fill shall be placed in lifts which are compacted. Backfilling the ponds in this manner will limit the potential contamination of the underlying aquifer.
- .2 Building foundations will include driven steel pipe/H beams and augercast concrete piles. For lighter loads, screw piles and footings may be an option. Regardless of the foundation type selected, the building foundations will not increase the contaminant risk of the aquifer.
- .3 Installation of the site services (sewer/water) will require excavations which may extend below the water table in some areas. The trenches may be backfilled with the excavated soil which is placed in lifts which are compacted. Backfilling the trenches in this manner will limit the potential contamination of the underlying aquifer.
- .4 Bioswales will be constructed as part of the surface drainage plan. Properly designed and constructed bioswales will limit the potential contamination of the underlying aquifer.
- .5 No fuel shall be stored onsite during and after development.

The proposed development consists of a residential subdivision, which by its very nature, is not considered to pose an elevated risk of contamination to the underlying aquifer. Provided the recommendations outlined in this letter are implemented, the potential for contamination of the underlying aquifer will be satisfactorily addressed.

We trust that this letter is satisfactory for your purposes. If you have any questions, please contact this office.

Yours very truly  
Ground Engineering Consultants Ltd.

Steve Harty, P. Eng.

SH:cf  
Distribution: Talon Capital Ltd. (1 PDF copy)  
SH961 Office (1 copy)

## **APPENDIX E**

### **Heritage Screening**



January 13, 2023

Our file: 22-1463

Dustin Weiss  
WCE design inc.  
*Agent for: Talon Capital Ltd./102035126 SASKATCHEWAN LTD.*  
80 Emerald Ridge East  
WHITE CITY SK S4L 0C3  
Phone: 306.540.8312  
Email: dustin.weiss@wcedesign.ca

Dear Dustin Weiss:

**RE: RM of Edenwold No. 163 - Multi-building Residential Development  
SE 22-17-18-W2M - Blk/Par BB-Plan 102138342 Ext. 0 (5.447 ha)  
HERITAGE RESOURCE REVIEW**

Thank you for submitting this project for heritage resource review.

In determining the need for, and scope of, Heritage Resource Impact Assessment (HRIA) pursuant to s.63 of *The Heritage Property Act*, the following factors were considered: the presence of previously recorded heritage sites, the area's overall heritage resource potential, the extent of previous land disturbance, and the scope of new proposed land development.

There is one known archaeological site (called EcNc-8) located in direct conflict with the proposed project. The site is over a large area, with notes about locals removing 100s of artifacts dating to all archaeological time periods since the 1930s. The project is also located on sandy soil so there is some potential for deeply buried archaeological sites. However, the parcel has been disturbed by cultivation and various urban development. Recent surveys in the region suggest that the majority of archaeological materials have been removed/extensively disturbed. Therefore, the potential for the project to impact intact, significant heritage sites is low and there are no heritage concerns with the project proceeding as planned.

...2

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Dustin Weiss  
Page 2  
January 13, 2023

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Note: no additional heritage review is required for any revisions to the project layout/plans, provided they occur within the 2023 **external** boundary of Surface Parcel Number 20284880. Please include a copy of this clearance in applications to all other agencies involved in the approval process, to prove heritage clearance has been obtained and that further heritage review of the project is unnecessary.

If you have any questions regarding this review, please do not hesitate to contact me.

Sincerely,



Kim Weinbender  
Archaeologist

## **APPENDIX F**

### **Transportation Plan**





- LEGEND**
- ASPHALT
  - BUILDING
  - LANDSCAPE
  - CONCRETE
  - WATER
  - TRAFFIC PATTERN
  - MAIN TRAFFIC INTERNAL ROAD CONNECTION
  - TRAFFIC SIGN RA-1 'STOP'



**1 | TRANSPORTATION PLAN**  
 SK-4 | 1:1500

TOTAL UNITS: 366  
 TOTAL PARKING: 470



# **APPENDIX G**

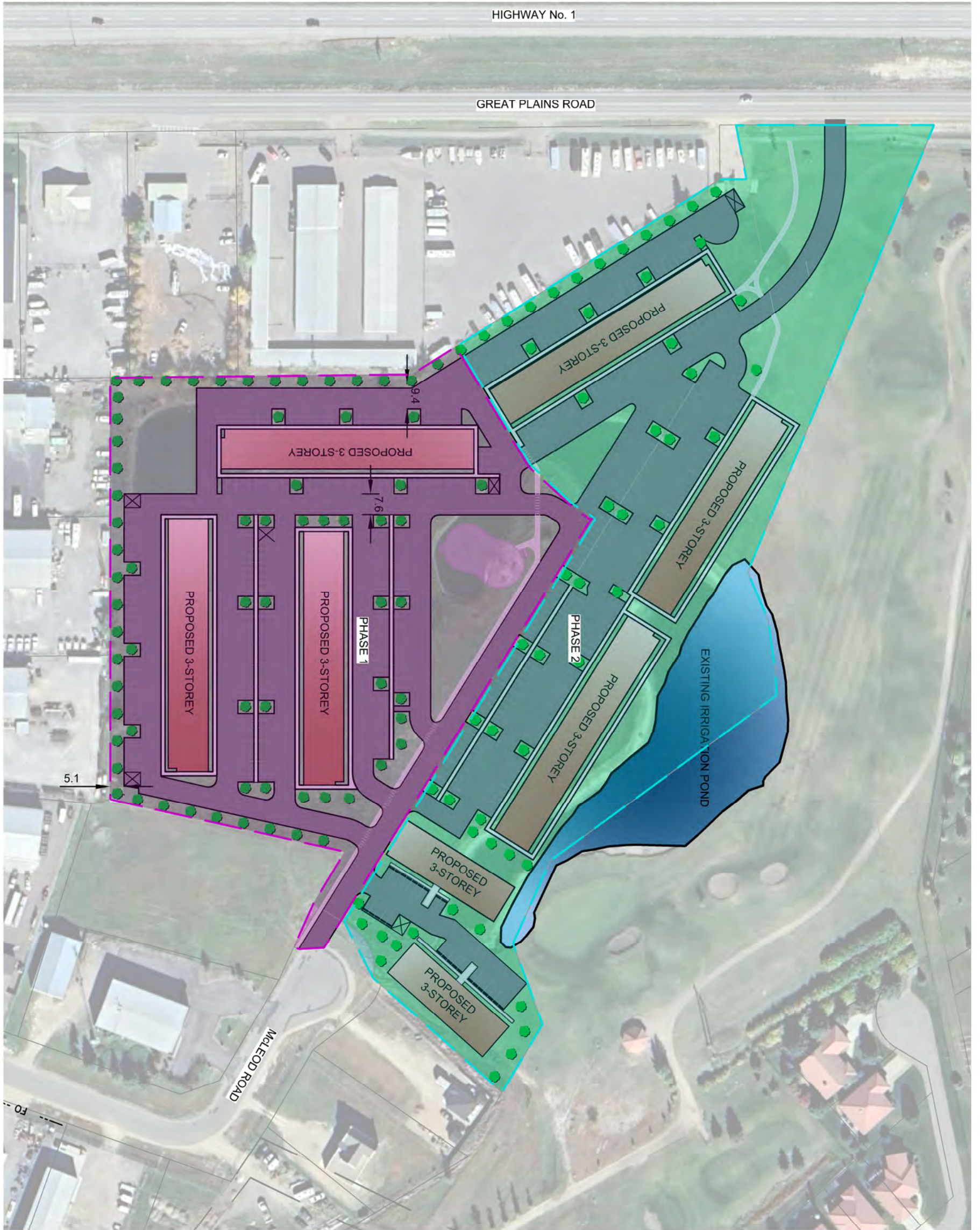
## **Phasing Plan**



**LEGEND**

PHASE 1 

PHASE 2 



1 SK-5  
CONCEPT PLAN  
1:1500



## **APPENDIX H**

### **Public Consultation Summary**

Greensview is a 5.45ha (13.46 acre) proposed multi-family residential development within Emerald Park, bringing diversity to the area. Diversification in housing options allows for a variety of residents, from young professionals to new families, those looking to downsize, or empty nesters to join or remain in this vibrant community.

The location of Greensview provides a transition area from the current commercial/light industrial zones to the single-family residential area and the existing golf course.



The development is planned to have eight multi-family 3-storey units with a site coverage of 17.5%. Low-impact sustainable design practices are to be utilized, with approximately 25% of the site being landscaped. The development features additional landscape buffers, interior greenspace with a playground, pedestrian pathways, and amenity areas. The pathway will provide pedestrian access from the Trans Canada Trail located on the South Service Road, while the landscape buffers will reduce noise from Highway #1 in the area.

Access to the development is planned from the Great Plains Road (South Service Road) and South Plains Road via McLeod Road. Water and sanitary sewer services are to be provided by the RM of Edenwold No. 158, and a storm management plan will be designed to accommodate additional surface runoff, as well existing drainage in the area.

We are looking forward to becoming part of the community and calling Emerald Park home. Please contact us via email with any questions you have at [greensview23@gmail.com](mailto:greensview23@gmail.com).



## **Public Engagement Summary.**

Phone Calls (Inquiry requested a return call).

1. Resident/Business Owner left a return call number and discussed how this development will bring people to the area and clean up an undeveloped parcel. She was for the development and was happy to hear of the potential to multiple housing options for the community.
2. Landowner in the community left a return call back number. Discussed the development with him. He discussed the positives this development would bring to the community and was glad to see something happening with the vacant land.

Email Questions and Responses.

1. *How many individual units are in each building?*

**Response:** There is as many as 60 units and the entire buildout is around 366 units.

2. *Are they rental units or privately owned units?*

**Response:** There will be a mix of both within the development. Phase 1 is to be rentals.

3. *Will the parking be ground level or underground? Would the families have two cars?*

**Response:** Parking is to be surface only. The RM requires 1.25 stalls per unit. Based on our preliminary parking plan we have more than this providing ample parking.

4. *Can you provide greater detail as to the road access, the walking paths in and out of the development?*

**Response:** Currently, the path shown on the concept plan is the detail we have. The plan is to have paved walking paths connecting both north and south of the development including internal walk paths within the development.

5. *Is there a time frame for completion of phase 1 and phase 2?*

**Response:** Phase 1 is to start construction this calendar year.

6. *Can you provide more detail on the 'noise buffers'?*

**Response:** The RM requested a Noise Impact Study be provided due to the proximity to the Provincial Highway. This study is required at the permitting stage as opposed to the rezoning (current). Landscape buffers are required to mitigate noise and are described in section 4.44 of the Zoning Bylaw. The noise buffers will be accomplished by creating tree screening. Perimeter landscaping will be provided around the development and will utilize various tree types to help cut down the noise from adjacent uses and as well the highway.

7. *Do you have conceptual elevation drawings of the buildings and development including finalized landscaping?*

**Response:** We are currently in the design stage and don't have detailed elevations yet. The landscaping has only been detailed as much as the provided concept plan. Currently, we are awaiting the re-zoning prior to moving forward. Elevations will be provided during the permitting stages of the development.

8. *Will the RM require a performance bond from the developer on the installation of the water, sewer, and any additional roads?*

**Response:** Yes, performance securities will be taken for water and sewer connections. The roadways are internal and therefore, no performance securities can be taken.

9. *Will light pollution be considered in this dense development?*

**Response:** All outdoor lighting must be in compliance with section 4.22 of the Zoning Bylaw to mitigate impacts on adjacent residents/landowners. The lighting design for the site will be completed by a professional engineer and dark sky principals will be implemented.

10. *What about the potential for increased volumes of traffic, is that a consideration?*

**Response:** Yes, the increased traffic has been considered. Internal traffic control will be included in the design along with any required traffic control in/out of the development. All jurisdictions will be engaged for review of the accesses and in the design phase to ensure negative impacts are mitigated.

11. *Will there be provision for controlling dust/dirt during construction when strong prevailing west and northwest winds occur?*

**Response:** The Development Agreement that is to be entered into between the developer and the RM at the permitting stage will outline the responsibilities of the Developer, which include limiting the disruption to adjacent residents and landowners. We will work with the RM to ensure the construction has as little impact as possible to the community. Dust control is one consideration as will erosion control be important.

12. *Who are the owners/principals of Greensview? The only name on any of the documentation sent out by the RM is "Greensview" which is obviously a tradename. The "legal" name would probably be the same as the name on title and the name of the applicant for the zoning change. Can you please elaborate.*

**Response:** The owners are local individuals and are listed on ISC. The land is registered to the numbered company 102035126 SASKATCHEWAN LTD, which is the same as the ownership group. They consist of local investors.

13. *What traffic control measures (traffic signals, stop signs?) are proposed for Macleod Road/South Plains Road and Great Plains Road.?*

**Response:** McLeod Road is to have a stop sign for traffic control exiting the development. Currently, this project is for rezoning the land and the detailed design has not yet been completed. At minimum there will be a stop sign at each location. The requirements for each connection will be determined in conjunction with the Ministry of Highways for the service road and the RM for McLeod Rd.

14. *Eight multi-family 3-storey units. How many suites are in each unit? How many people in total would be occupying that site when fully developed.?*

**Response:** Currently, we are ranging from 20-60 units per building. As this is a rezoning and not a development/building application nothing has yet to be finalized. The estimated population for the development could be 400-800 residents.

15. *Are the drainage ponds being closed? Where does the water go if the drainage ponds are closed? There will be a lot of pavement and buildings. Is there a drainage plan for this project? I so where can I find the details of same?*

**Response:** As we are currently in the re-zoning phase of the parcel an engineered grading plan has not yet been completed. A pre-engineering report and an engineered drainage plan for the development must be completed and approved by the RM prior to receiving a development permit. These are currently ground fed water features from the golf course previously utilized for irrigation. The two on this development will be filled in and the pond within both properties will be altered for the development. The stormwater management plan will be developed in the detailed design stage. Stormwater storage will still be required for the site, but it will need to be in separate locations from the existing ones.

16. *Who develops the storm management plan?*

**Response:** The stormwater management plan and detailed design will be produced by a professional engineer and approved by the RM of Edenwold within the development permit stage of the development.

17. *If these are primarily rental suits. I'm concerned about the increase in crime as a more transient population would be living there.*

**Response:** It is a common misconception that multi-family units increase crime. This development will provide a missing level of residential offerings to the Emerald Park area. There currently are no offerings for young families entering the housing market, young professionals, or homeowners that wish to downsize but remain in the community. This development would be giving those an opportunity to stay in this community and provide economic support to local businesses and either raise their families here or remain close to their families that already live in Emerald Park.

18. *You're taking away our view of the sunset.*

**Response:** Please note the golf course will remain between these two developments and provide additional landscaping and a buffer from the existing industrial area.